



# city of CREVE COEUR

300 North New Ballas Road • Creve Coeur, Missouri 63141  
(314) 432-6000 • Fax (314) 872-2539 • Relay MO 1-800-735-2966

[www.creve-coeur.org](http://www.creve-coeur.org)

## PUBLIC NOTICE

### APPLICATION TO PLANNING AND ZONING COMMISSION #20-022 FOR SITE DEVELOPMENT PLAN FOR PARKING LOT ADDITION AT 633 EMERSON ROAD

**FOR THE MEETING OF: Monday, August 3, 2020, 6:30 PM**

**LOCATION:** 633 Emerson Road, Zoned CB – Core Business District

**REQUEST:** Jennifer Gross, of Altus Properties, on behalf of DOC-633 Emerson Road MOB, LLC, property owners of 633 Emerson Road, has submitted an application for a 15,000 square foot parking lot expansion to provide an additional 36 parking spaces to the site, with new parking lot lighting. Section 405.1080 requires site plan review by the Planning and Zoning Commission for any proposed alteration that would significantly affect the exterior of a building. Section 405.370(G)(1)(b) requires Council review and approval of all development or redevelopment plans, other than minor site plans under 5,000 square feet of new site coverage, for the properties within the area bounded by Olive Boulevard on the north, Old Ballas Road on the south and east and I-270 on the west.

**ADDITIONAL INFORMATION:** Review of the site development plan is scheduled for the meeting on Monday, August 3, 2020. All meetings are held at 6:30 p.m., in the Council Chambers of the Creve Coeur Government Center located at 300 North New Ballas Road. Due to the pandemic emergency, the Planning and Zoning Commission and City Council meetings will be held via teleconference until further notice. Online meetings are hosted through a remote conferencing service called Zoom, which offers audio and/or video conferencing. We encourage you to attend remotely if you have any questions or wish to make a statement. For more information on the meeting and to register please go to:  
<http://www.crevecoeurmo.gov/1125/Public-Hearing-Registration>.

In addition, you can submit written or e-mail comments to Planning staff in advance of the meeting. Additional information regarding this proposal is available at the Government Center, Planning Division offices or on the City's website at [www.crevecoeurmo.gov/447/Current-Planning-Projects](http://www.crevecoeurmo.gov/447/Current-Planning-Projects). You may also call (314) 872-2501 or e-mail [wkelly@crevecoeurmo.gov](mailto:wkelly@crevecoeurmo.gov).

**APPLICANT /  
PROPERTY MANAGER:** Jennifer Gross  
Altus Properties  
231 Bemiston Ave., Suite 650  
St. Louis, MO 63105

**APPLICANT'S  
REPRESENTATIVE:**

Yosef Howley, P.E.  
CEDC  
10820 Sunset Office Drive  
Suite 200  
St. Louis, Missouri 63127

#### Key Issues:

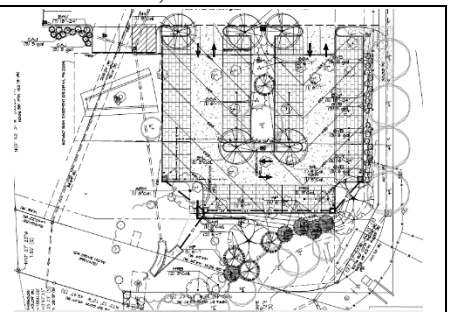
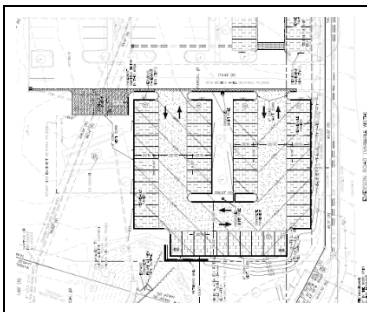
- Does the request further the goals and/or implement the Comprehensive Plan and the Design Guidelines?

#### Comprehensive Plan References

- Central Business District
- West Olive and Large Commercial Properties Mixed-Use District (MU)

#### Zoning Code References

- Section 405.370: CB-Core Business District
- Section 405.540: Landscaping
- Section 405.680: Lighting
- Article VII Off-Street Parking and Loading Regulations
- Section 405.1080 Site Concept, Site Development and Minor Site Plan Approval



**STAFF CONTACT: Whitney Kelly, AICP, City Planner**  
CC: Ellen Lawrence and Nicole Greer, Ward II

# Aerial Photo





LEGEND	
EXISTING CONTOURS	— 433 —
PROPOSED CONTOURS	— 433 —
EXISTING STORM SEWER	— [Symbol] —
PROPOSED STORM SEWER	— [Symbol] —
EXISTING SANITARY SEWER	— [Symbol] —
PROPOSED SANITARY SEWER	— [Symbol] —
RIGHT-OF-WAY	— [Symbol] —
EASEMENT	— [Symbol] —
CENTERLINE	— [Symbol] —
EXISTING TREE	[Symbol]
EXISTING SPOT ELEVATION	+ 433.28
PROPOSED SPOT ELEVATION	+ 433.28
SWALE	[Symbol]
TO BE REMOVED	T.B.R.
TO BE REMOVED & RELOCATED	T.B.R. & R.
TO BE USED IN PLACE	U.I.P.
ADJUST TO GRADE	A.T.G.
BACK OF CURB	B.C.
FACE OF CURB	F.C.
WATER MAIN	— W —
GAS MAIN	— G —
UNDERGROUND TELEPHONE	— T —
OVERHEAD WIRE	— O.H. —
UNDERGROUND ELECTRIC	— E —
SILTATION CONTROL	[Symbol]
FIRE HYDRANT	[Symbol]
POWER POLE	[Symbol]
WATER VALVE	[Symbol]
LIGHT STANDARD	[Symbol]

## STORMWATER RUNOFF CALCULATIONS (15 Yr. / 20 Min. STORM)

TOTAL SITE AREA	= 3.63 ac.
<b>EXISTING RUNOFF CALCULATIONS</b>	
BUILDING:	0.521 ac. x 3.54 c.f.s./ac. = 1.845 c.f.s.
PAVED:	1.384 ac. x 3.54 c.f.s./ac. = 4.901 c.f.s.
PERVIOUS:	1.728 ac. x 1.70 c.f.s./ac. = 2.938 c.f.s.
	3.63 ac. = 9.679 c.f.s.
<b>PROPOSED RUNOFF CALCULATIONS</b>	
BUILDING:	0.521 ac. x 3.54 c.f.s./ac. = 1.845 c.f.s.
PAVED:	1.382 ac. x 3.54 c.f.s./ac. = 4.891 c.f.s.
PERVIOUS:	1.728 ac. x 1.70 c.f.s./ac. = 2.938 c.f.s.
	1.78 ac. = 9.674 c.f.s.
<b>DIFFERENTIAL RUNOFF:</b>	
9.679 c.f.s. - 9.674 c.f.s.	= (-0.05) c.f.s.

## LEGAL DESCRIPTIONS

(FROM TITLE COMMITMENT)

LEGAL DESCRIPTION

**PARCEL #1**  
A TRACT OF LAND BEING PART OF LOTS 12, 13, 14, 15, 16, AND 17 OF EMERSON TERRACE, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN DAILY NUMBER 29 ON MARCH 19 1942 IN THE ST. LOUIS COUNTY RECORDS, IN SECTION 3, TOWNSHIP 45 NORTH RANGE 5 EAST ST. LOUIS COUNTY, MISSOURI, AND BEING MORE PARTICULARLY DESCRIBED AS: BEGINNING AT THE INTERSECTION ON THE SOUTH LINE OF EVEN DRIVE, 50 FEET WIDE, WITH THE EAST RIGHT-OF-WAY LINE AT INTERSTATE HIGHWAY 270 (FORMERLY 244); THENCE SOUTH 89 DEGREES 12 MINUTES 03 SECONDS EAST 230.78 FEET AND ALONG A CURVE TO THE RIGHT WHOSE RADIUS POINT BEARS SOUTH 0 DEGREES 47 MINUTES 57 SECONDS WEST AT 20.00 FEET FROM THE LAST MENTIONED POINT, A DISTANCE OF 16.75 FEET ALONG SAID SOUTH LINE OF EVEN DRIVE TO THE WEST LINE OF EMERSON AVENUE AS WIDENED BY A ROAD DEDICATION PLAT RECORDED IN PLAT BOOK 281, PAGE 17 OF THE ST. LOUIS COUNTY RECORDS; THENCE SOUTH 0 DEGREES 13 MINUTES 00 SECONDS WEST 324.25 FEET AND SOUTH 27 DEGREES 45 MINUTES 02 SECONDS WEST 60.33 FEET ALONG SAID WEST LINE OF EMERSON AVENUE TO A POINT; THENCE ALONG A CURVE TO THE RIGHT WHOSE RADIUS POINT BEARS NORTH 26 DEGREES 40 MINUTES 53 SECONDS WEST 60.00 FEET FROM THE LAST MENTIONED POINT, A DISTANCE OF 45.59 FEET TO THE NORTH LINE OF IDA DRIVE, 40 FEET WIDE; THENCE NORTH 73 DEGREES 08 MINUTES 52 SECONDS WEST 144.29 FEET AND ALONG A CURVE TO THE RIGHT WHOSE RADIUS POINT BEARS NORTH 16 DEGREES 51 MINUTES 00 SECONDS EAST 1820.88 FEET FROM THE LAST MENTIONED POINT, A DISTANCE OF 40.22 FEET ALONG SAID NORTH LINE OF IDA DRIVE, 40 FEET WIDE, TO THE AFORESAID EAST RIGHT-OF-WAY LINE OF IDA DRIVE, 40 FEET WIDE, TO THE AFORESAID EAST RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 270 (FORMERLY 244); THENCE NORTHWARDLY ALONG SAID RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 270 (FORMERLY 244) THE FOLLOWING COURSES AND DISTANCES: NORTH 02 DEGREES 38 MINUTES 19 SECONDS WEST 162.73 FEET, NORTH 23 DEGREES 12 MINUTES 03 SECONDS EAST 27.19 FEET, AND NORTH 0 DEGREES 30 MINUTES 23 SECONDS EAST 150.05 FEET TO THE POINT OF BEGINNING, ACCORDING TO SURVEY BY VOLZ ENGINEERING AND SURVEYING INC. ON NOVEMBER 5 1990.

**PARCEL #2:**  
IDA DRIVE (A PRIVATE 40-FOOT-WIDE ROAD) AS SHOWN ON PLAT OF EMERSON TERRACE, A SUBDIVISION RECORDED IN PLAT BOOK 38 PAGE 37, BEING BOUNDED AS FOLLOWS: ON THE NORTH BY THE SOUTH LINE OF LOT 16 AND PART OF LOT 17 OF AFORESAID EMERSON TERRACE; ON THE SOUTH BY THE NORTH LINE OF THE CREVE COEUR BRANCH OF MISSOURI PACIFIC RAILROAD RIGHT-OF-WAY; ON THE EAST BY THE WEST LINE OF EMERSON AVENUE; ON THE WEST BY THE EAST LINE OF HIGHWAY 270 (FORMERLY 244).

**PARCEL #3:**  
LOTS 1, 2, AND 3 OF EMERSON TERRACE, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 38 PAGE 37 OF THE ST. LOUIS COUNTY RECORDERS OFFICE, EXCEPTING THEREFROM THAT PART CONVEYED TO THE CITY OF CREVE COEUR BY DEED RECORDED IN BOOK 8499 PAGE 757.

**PARCEL #4:**  
A TRACT OF LAND BEING PART OF EVEN DRIVE, 50 FEET WIDE, ACCORDING TO "EMERSON TERRACE," A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 38 PAGE 37 OF THE ST. LOUIS COUNTY RECORDS.

### SITE BENCHMARK

NAVD88 ELEV. - 629.07' FTUS

\*0" IN THE WORD OPEN ON FIRE HYDRANT NEAR THE SOUTHEAST CORNER OF SUBJECT PROPERTY, AS SHOWN ON SURVEY.

PREPARED BY:

**CEDC**  
CIVIL ENGINEERING  
DESIGN CONSULTANTS

10820 Sunset Office Drive  
Suite 200  
St. Louis, Missouri 63127  
314.729.1400  
Fax: 314.729.1404  
www.cedc.net

### PROPERTY DATA

OWNER	= Doc 633 Emerson Road Mob LLC
ADDRESS	= 633 EMERSON CREVE COEUR, MO 63141
LOCATOR NUMBER	= 170240754
ZONING	= CB CORE BUSINESS DISTRICT
AREA (TOTAL)	= 158,291 s.f. or 3.63 ACRES
WATER SHED	= CREVE COEUR CREEK WATERSHED
FIRE DISTRICT	= CREVE COEUR
SCHOOL DISTRICT	= PARKWAY SCHOOL DISTRICT
ELECTRIC SERVICE	= AMERENUE

### INDEX OF SHEETS

SDP1	SITE DEVELOPMENT PLAN
SDP2	OVERALL PLAN

# SITE DEVELOPMENT PLAN

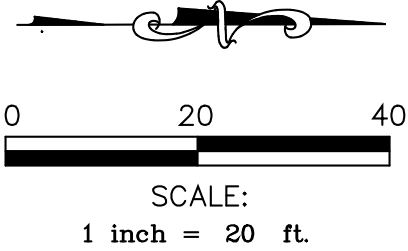
for a

# PARKING LOT ADDITION

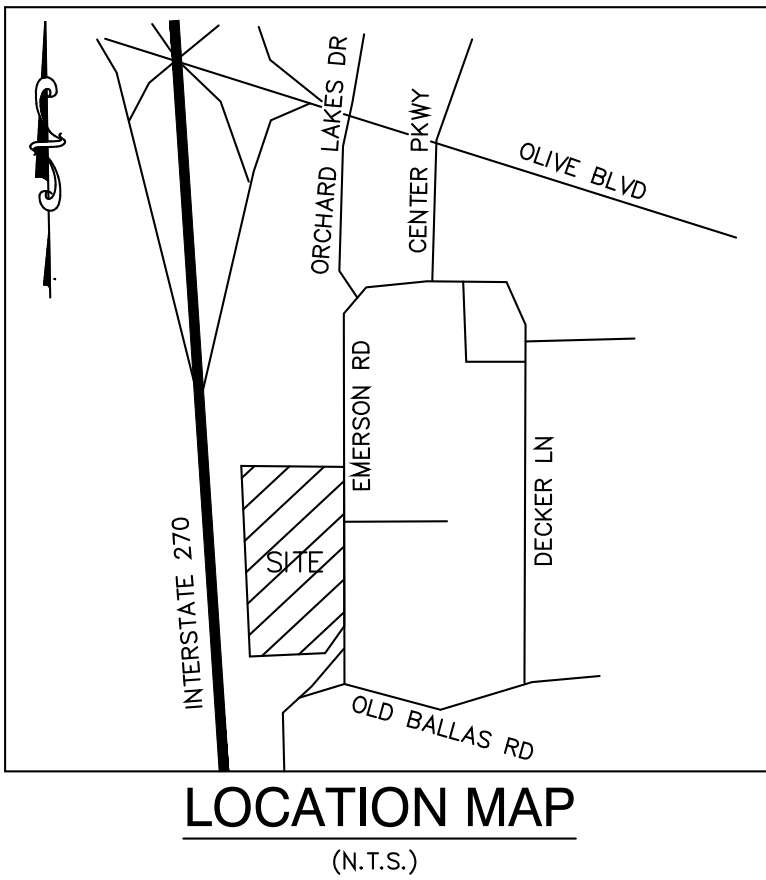
## EMERSON TERRACE OFFICE PARK

### LEGEND

[Symbol]	ASPHALT PAVEMENT
[Symbol]	PERMEABLE PAVERS
[Symbol]	CONCRETE PAVEMENT (HEAVY DUTY)



- - DENOTES SET 1/2" x 18" REBAR WITH CAP STAMPED "MARLER L.S.-347-0"
- - DENOTES FOUND IRON PIPE
- - DENOTES FOUND IRON ROD
- ⊕ - DENOTES FOUND CROSS
- △ - DENOTES FOUND RIGHT OF WAY MARKER



### GENERAL NOTES

- ALL UTILITIES SHOWN HAVE BEEN LOCATED FROM AVAILABLE RECORDS. THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION TO EXISTING UTILITIES FIELD LOCATED. THE CONTRACTOR SHALL BE ON RECORD WITH THE MISSOURI ONE CALL SYSTEM. ALL PROPOSED UTILITIES SHALL BE UNDERGROUND.
- ALL ELEVATIONS ARE BASED ON BENCHMARK SHOWN.
- BOUNDARY AND TOPOGRAPHIC SURVEY BY MARLER SURVEYING CO.
- ALL ON-SITE MATERIALS AND METHODS OF CONSTRUCTION TO MEET THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF CREVE COEUR, MODOT AND M.S.D.
- ALL GRADED AREAS SHALL BE PROTECTED FROM EROSION BY EROSION CONTROL DEVICES AND/OR SEEDING AND MULCHING AS REQUIRED BY THE CITY OF CREVE COEUR AND MODOT.
- PRIOR TO BEGINNING ANY WORK ON THE SITE, THE SUBCONTRACTOR SHALL CONTACT THE GENERAL CONTRACTOR FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
- GRADING CONTRACTOR SHALL INSTALL SILTATION CONTROL PRIOR TO STARTING THE GRADING. ADDITIONAL SILTATION CONTROL DEVICES SHALL BE INSTALLED AS DIRECTED BY THE CITY OF CREVE COEUR AND MODOT.
- ALL FILLS AND BACKFILLS SHALL BE MADE OF SELECTED EARTH MATERIALS, FREE FROM BROKEN MASONRY, ROCK, FROZEN EARTH, RUBBISH, ORGANIC MATERIAL AND DEBRIS.
- GRADING CONTRACTOR SHALL KEEP EXISTING ROADWAYS CLEAN OF MUD AND DEBRIS AT ALL TIMES.
- PROPOSED CONTOURS SHOWN ARE FINISHED ELEVATIONS ON PAVED AREAS.
- ALL GRADING AND DRAINAGE TO BE IN CONFORMANCE WITH THE CITY OF CREVE COEUR AND M.S.D.
- SIDEWALKS ALONG THE ACCESSIBLE ROUTE SHALL NOT HAVE A SLOPE EXCEEDING 1% V.20'H. SLOPES GREATER THAN 1% V.20'H MUST BE DESIGNED AS A RAMP. SIDEWALKS TO BE CONSTRUCTED TO ST. LOUIS COUNTY ADA STANDARDS.
- SIDEWALKS, CURB RAMPS, RAMPS AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT APPROVED "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG) ALONG WITH THE REQUIRED GRADES, CONSTRUCTION MATERIALS, SPECIFICATIONS AND SIGNAGE. IF ANY CONFLICT OCCURS BETWEEN THE ADA GUIDELINES AND THE INFORMATION ON THE PLANS, THE ADA GUIDELINES SHALL TAKE PRECEDENCE AND THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER PRIOR TO ANY CONSTRUCTION.
- NO GRADE SHALL EXCEED 3(H)-1(V) UNLESS JUSTIFIED BY GEOTECHNICAL REPORT THAT HAS BEEN APPROVED BY THE CITY OF CREVE COEUR.
- STORM WATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE NATURAL DISCHARGE POINTS.
- ALL LANDSCAPED AREAS TO BE FILLED WITH A MINIMUM OF 6" OF TOPSOIL.
- ALL LANDSCAPED AREAS DISTURBED BY OFF-SITE WORK SHALL BE IMMEDIATELY SEEDED OR SODDED, AS DIRECTED BY THE CITY OF CREVE COEUR OR MODOT UPON COMPLETION OF WORK IN THE AREA AFFECTED.
- ADEQUATE TEMPORARY OFF-STREET PARKING FOR CONSTRUCTION EMPLOYEES SHALL BE PROVIDED, PARKING ON NON-SURFACED AREAS SHALL BE PROHIBITED IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEES' VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVEWAY CONDITIONS.
- ALL SEWER CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH THE METROPOLITAN ST. LOUIS SEWER DISTRICT STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWER AND DRAINAGE FACILITIES, (LATEST EDITION).
- PARKING CALCULATIONS (PER ZONING SECTION 405.820)  
PARKING REQUIREMENTS FOR OTHER HEALTH SERVICES  
Four (4) parking spaces per one thousand (1,000) square feet of floor area: 38,277/1,000 \* 4 = 153 spaces  
TOTAL = 153 SPACES REQUIRED  
PARKING PROVIDED ON SITE = 185 SPACES (INCLUDES 9 ADA STALLS)  
21) NO ON-SITE ILLUMINATION SOURCE SHALL BE SO SITUATED THAT LIGHT IS CAST DIRECTLY ON ADJOINING PROPERTIES OR ROADWAYS. ILLUMINATION LEVELS SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF CREVE COEUR. THE SITE LIGHTING STANDARDS AND LOCATIONS SHALL BE REVIEWED AND APPROVED PER THE REQUIREMENTS OF THE CITY OF CREVE COEUR. LIGHTING DESIGN SUBJECT TO FINAL DESIGN OF LIGHTING ENGINEER.
- LANDSCAPING SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF CREVE COEUR.
- ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO THE CITY OF CREVE COEUR AND COUNTY STANDARDS.
- ANY SIGNAGE PROPOSED FOR THIS SITE SHALL BE IN COMPLIANCE WITH THE ORDINANCES OF THE CITY OF CREVE COEUR.
- DENSITY CALCULATIONS  
SITE COVERAGE:  
The area of a non-residential site which is covered by buildings, driveways, parking lots, loading areas, but excluding landscaped and green spaces, plaza, pedestrian circulation and unpaved buffer areas.  
BUILDING AREA = 22,704 s.f.  
PARKING & DRIVE AISLES = 75,763 s.f.  
98,467 s.f.±  
SITE COVERAGE = 98,467± s.f. / 158,163±s.f. x 100 = 62.3%  
26) FLOOR AREA RATIO (F.A.R.)  
38,277 s.f. BUILDING = 0.242  
158,163 s.f. SITE AREA  
27) ALL SIGNS AND BANNERS SHALL BE IN CONFORMANCE WITH ARTICLE VII. SIGN REGULATIONS OF THE ZONING CODE. THE RELOCATION AND REPLACEMENT OF ALL SIGNS SHALL REQUIRE A PERMIT PER ARTICLE VII SIGN REGULATIONS. ANY NON-CONFORMING SIGN AREAS MUST BE DOCUMENTED PRIOR TOT HE REMOVAL AND REPLACEMENT OF THE SIGN.  
28) STRUCTURE SETBACKS (PER CORE BUSINESS DISTRICT ZONING)  
FRONT 15 FT.  
SIDE 10 FT.  
REAR 10 FT.  
BUFFER YARD 50 FT. (THAT ABUT THE SINGLE-FAMILY DISTRICT)  
29) AN UNDERGROUND IRRIGATION SYSTEM SHALL BE INSTALLED AS REQUIRED PER SEC. 405.540(10).  
30) PARKING LOT LIGHTING SHALL BE DOWNCAST AND FULLY SHIELDED IN CONFORMANCE WITH SECTION 405.680, LIGHTING OF THE ZONING CODE.  
31) ALL SIGNS AND BANNERS SHALL BE IN CONFORMANCE WITH ARTICLE VII. SIGN REGULATIONS OF THE ZONING CODE. THE RELOCATION AND REPLACEMENT OF ALL SIGNS SHALL REQUIRE A PERMIT PER ARTICLE VII SIGN REGULATIONS. ANY NON-CONFORMING SIGN AREAS MUST BE DOCUMENTED PRIOR TOT HE REMOVAL AND REPLACEMENT OF THE SIGN.  
32) THE TRASH ENCLOSURE SHALL BE BUILT OF MATERIALS THAT ARE CONSISTENT WITH THE BUILDING, SUBJECT TO THE ZONING ADMINISTRATOR'S APPROVAL.

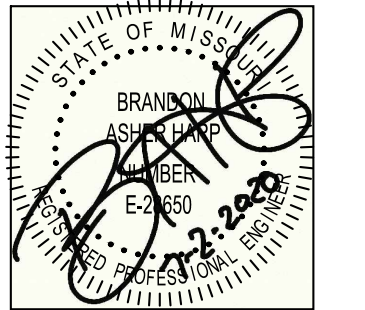
NOTE:

THE UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SOURCES AND THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE ACTUAL LOCATIONS OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THIS DRAWING, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE LOCATED PRIOR TO GRADING OR CONSTRUCTION OF IMPROVEMENTS.



MISSOURI ONE CALL TICKET NUMBER 201011563  
UTILITIES CONTACT BY MISSOURI ONE CALL WERE:  
AMEREN MO ELECTRIC  
ATT DISTRIBUTION  
CHARTER COMMUNICATIONS  
LEVEL 3 NOW CENTURY LINK  
EDWARD JONES  
MISSOURI AMERICAN WATER  
MCI  
SPIRE MO EAST  
ST. LOUIS METROPOLITAN SEWER

M.S.D. BASE MAP  
M.S.D. P-No.



BRANDON A. HARP, P.E. E-28650  
PROFESSIONAL ENGINEER  
CEDC LICENSE NO.: 2003004674

10820 Sunset Office Drive  
Suite 200  
Saint Louis, Missouri 63127  
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www.cedc.net

**CEDC**  
CIVIL ENGINEERING  
DESIGN CONSULTANTS

Site Development Plan for  
**PARKING ADDITION**  
633 EMERSON RD.  
CREVE COEUR, MO 63141

Proj. # 1921		
No.	Description	Date
	Site Development Plan	07/02/2020

SITE  
DEVELOPMENT  
PLAN

DRAWING NO.

**SDP1**



SCHEDULE "B" TITLE EXCEPTION NOTES

THIS SURVEY IS BASED ON A TITLE REPORT PREPARED BY WFG NATIONAL TITLE INSURANCE COMPANY COMMITMENT NO. 204635, DATED APRIL 14, 2020 AT 8:00 A.M.

ITEMS NOT LISTED BELOW ARE STANDARD EXCEPTIONS AND/OR ARE NOT MATTERS OR ISSUES THAT PERTAIN TO THIS SURVEY.

G. BUILDING LINES, EASEMENTS, CONDITIONS AND RESTRICTIONS AS SHOWN IN PLAT BOOK 38 PAGE 37 AND PLAT BOOK 361 PAGE 54.

H. EASEMENT AGREEMENT RECORDED IN BOOK 21944 PAGE 2209. (BENEFIT'S SUBJECT PROPERTY, SHOWN ON SURVEY)

I. MEMORANDUM OF LEASE RECORDED IN BOOK 22215 PAGE 1122. (NOT A PLOTTABLE ITEM)

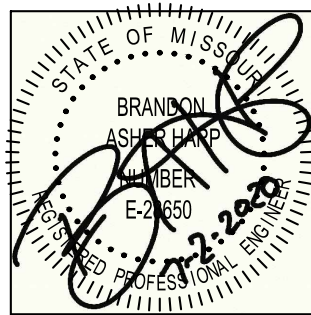
J. VACATION OF EASEMENT RECORDED IN BOOK 20499 PAGE 727 (EASEMENT ORIGINALLY RECORDED IN BOOK 5994 PAGE 585) (BENEFIT'S SUBJECT PROPERTY, SHOWN ON SURVEY)



0 30 60

SCALE:  
1 inch = 30 ft.

- - DENOTES SET 1/2" x 18" REBAR WITH CAP STAMPED "MARLER L.S.-347-D"
- - DENOTES FOUND IRON PIPE
- - DENOTES FOUND IRON ROD
- ⊕ - DENOTES FOUND CROSS
- △ - DENOTES FOUND RIGHT OF WAY MARKER



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Site Development Plan for  
**PARKING ADDITION**  
633 EMERSON RD.  
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Proj. # 1921

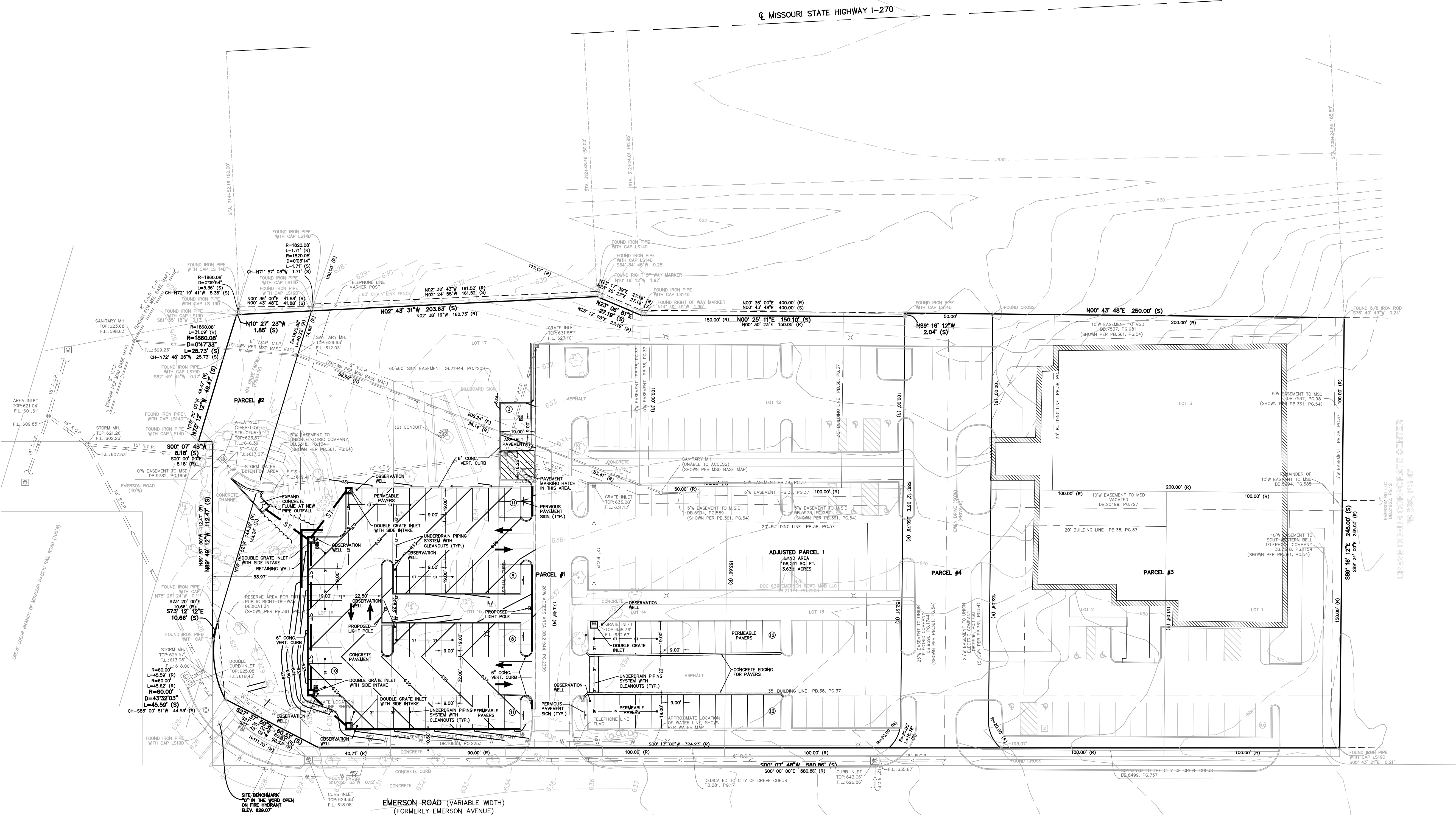
No. Description Date  
Site Development Plan 07/02/2020

OVERALL  
PLAN

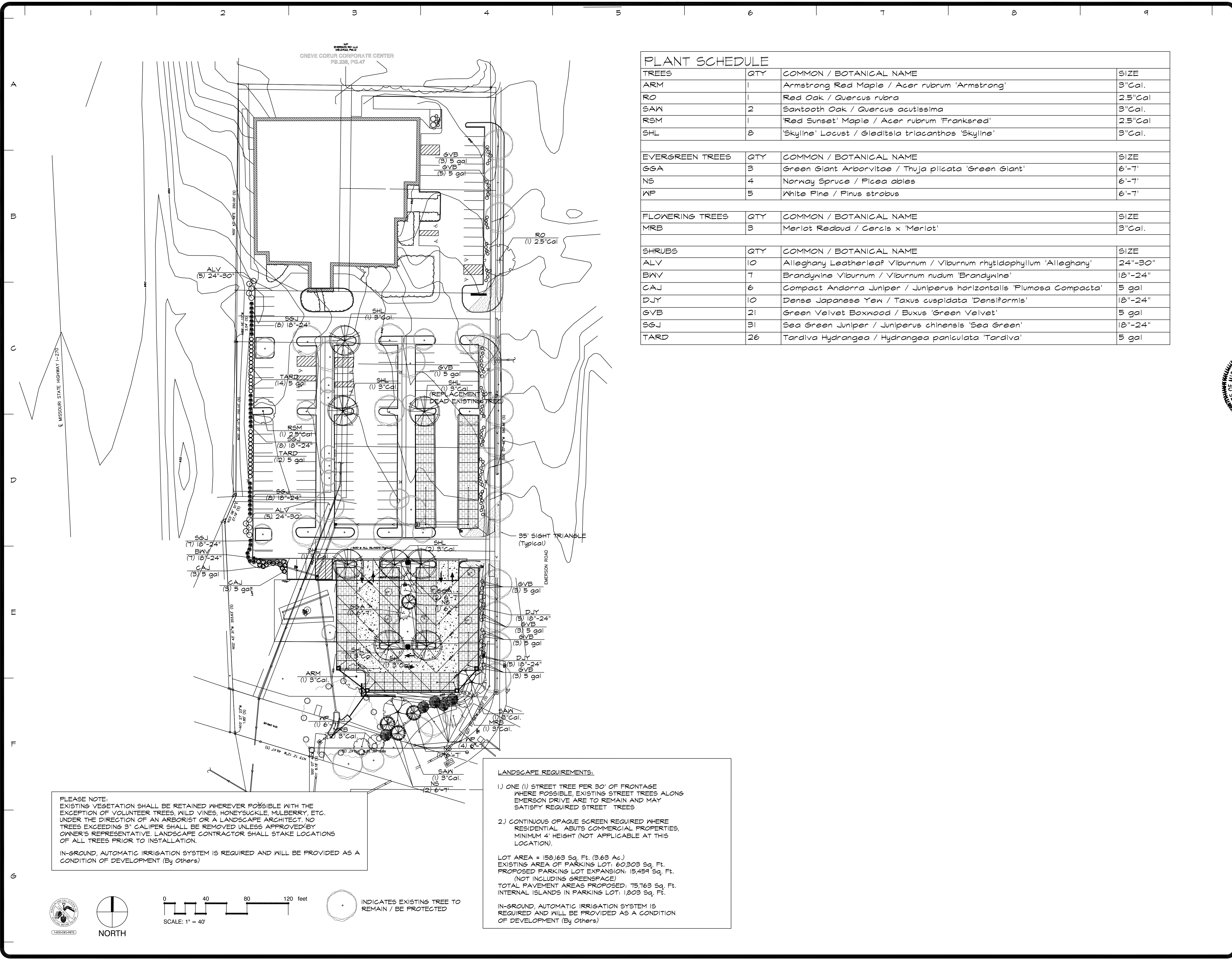
DRAWING NO.

**SDP2**

M.S.D. BASE MAP  
M.S.D. P-No.







PLANT SCHEDULE			
TREES	QTY	COMMON / BOTANICAL NAME	SIZE
ARM	1	Armstrong Red Maple / Acer rubrum 'Armstrong'	3"Cal.
RO	1	Red Oak / Quercus rubra	2.5"Cal.
SAW	2	Santooth Oak / Quercus acutissima	3"Cal.
RSM	1	'Red Sunset' Maple / Acer rubrum 'Franksred'	2.5"Cal.
SHL	8	'Skyline' Locust / Gleditsia triacanthos 'Skyline'	3"Cal.
EVERGREEN TREES	QTY	COMMON / BOTANICAL NAME	SIZE
GGA	3	Green Giant Arborvitae / Thuja plicata 'Green Giant'	6'-7'
NS	4	Norway Spruce / Picea abies	6'-7'
WP	5	White Pine / Pinus strobus	6'-7'
FLOWERING TREES	QTY	COMMON / BOTANICAL NAME	SIZE
MRB	3	Merlot Redbud / Cercis x 'Merlot'	3"Cal.
SHRUBS	QTY	COMMON / BOTANICAL NAME	SIZE
ALV	10	Alleghany Leatherleaf Viburnum / Viburnum rhytidophyllum 'Alleghany'	24"-30"
BNV	7	Brandywine Viburnum / Viburnum nudum 'Brandywine'	18"-24"
CAJ	6	Compact Andorra Juniper / Juniperus horizontalis 'Plumosa Compacta'	5 gal
DJY	10	Dense Japanese Yew / Taxus cuspidata 'Densiformis'	18"-24"
GVB	21	Green Velvet Boxwood / Buxus 'Green Velvet'	5 gal
SGJ	31	Sea Green Juniper / Juniperus chinensis 'Sea Green'	18"-24"
TARD	26	Tardiva Hydrangea / Hydrangea paniculata 'Tardiva'	5 gal

LANDSCAPE REQUIREMENTS:

1) ONE (1) STREET TREE PER 30' OF FRONTAGE WHERE POSSIBLE. EXISTING STREET TREES ALONG EMERSON DRIVE ARE TO REMAIN AND MAY SATISFY REQUIRED STREET TREES

2) CONTINUOUS OPAQUE SCREEN REQUIRED WHERE RESIDENTIAL ADJUTS COMMERCIAL PROPERTIES, MINIMUM 4' HEIGHT (NOT APPLICABLE AT THIS LOCATION).

LOT AREA = 158,163 Sq. Ft. (3.63 Ac.)  
EXISTING AREA OF PARKING LOT: 60,303 Sq. Ft.  
PROPOSED PARKING LOT EXPANSION: 15,454 Sq. Ft. (NOT INCLUDING GREENSPACE)  
TOTAL PAVEMENT AREAS PROPOSED: 75,763 Sq. Ft.  
INTERNAL ISLANDS IN PARKING LOT: 1,803 Sq. Ft.

IN-GROUND, AUTOMATIC IRRIGATION SYSTEM IS REQUIRED AND WILL BE PROVIDED AS A CONDITION OF DEVELOPMENT (By Others)

REVISIONS

BY

1/16/2020

RAM

PLANTING PLAN FOR THE PROPOSED PARKING EXPANSION FOR

633 Emerson Road

CREVE COEUR, MISSOURI

DRAWN

R. HARDS

CHECKED

RAM/EL

DATE

1/2/2020

SCALE

1"=40'-0"

JOB NO.

2020-141

SHEET

L-1

OF TWO SHEETS

LANDSCAPE TECHNOLOGIES

8710 Judds Creek Drive, Suite 100  
St. Louis, MO 63123  
Phone: (314) 435-1234  
Fax: (314) 435-1235  
Email: info@landscape-tech.com  
Website: www.landscape-tech.com

MISSOURI LANDSCAPE ARCHITECT #000018  
DATE: 1/16/2020

LANDSCAPE GUIDELINE SPECS:

GENERAL:

- 1.) All natural vegetation shall be maintained where it does not interfere with construction or the permanent plan of operation. Every effort possible shall be made to protect existing structures or vegetation from damage due to equipment usage. Contractor shall at all times protect all materials and work against injury to public.
- 2.) The landscape contractor shall be responsible for any coordination and sequencing with other site related work being performed by other contractors. Refer to additional drawings for further coordination of work to be done.
- 3.) Underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or shown. It shall be the landscape contractor's responsibility to determine or verify the existence of and exact location of the above (Call utility location services in municipality).
- 4.) Plant material are to be planted in the same relationship to grade as was grown in nursery conditions. All planting beds shall be cultivated to 6" depth minimum and graded smooth immediately before planting of plants. Plant groundcover to within 12" of trunk of trees or shrubs planted within the area.
- 5.) It shall be the landscape contractor's responsibility to:

A.) Verify all existing and proposed features shown on the drawings prior to commencement of work.

B.) Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.

C.) Stake the locations of all proposed plant material and obtain the approval of the owner's representative or landscape architect ten (10) days prior to installation.
- 6.) Items shown on this drawing take precedence over the material list. It shall be the landscape contractor's responsibility to verify all quantities and conditions prior to implementation of this plan. No substitutions of types or size of plant materials will be accepted without written approval from the landscape architect.
- 7.) Provide single-stem trees unless otherwise noted in plant schedule.
- 8.) All plant material shall comply with the recommendations and requirements of ANSI Z60.1 "American Standards for Nursery Stock".
- 9.) It shall be the contractor's responsibility to provide for inspection of the plant material by the Landscape Architect (or Owners' Representative) prior to acceptance. Inspections may take place before, during or after installation. Plants not conforming exactly to the plant list will not be accepted and shall be replaced at the landscape contractor's expense.
- 10.) All bids are to have unit prices listed. The Owner has the option to delete any portion of the contract prior to signing the contract or beginning work. This will be a unit price contract; quotes shall be valid for 12 months.
- 11.) Should auger equipment be utilized in excavating any plant pits, vertical sides of plant pits shall be thoroughly scarified to avoid creation of "polished side walls" prior to plant material installation.
- 12.) All excess topsoil, rocks, debris and/or tainted soils shall be removed by the general contractor prior to point project is turned over to the landscape contractor to commence landscape installation.
- 13.) Keep all plant material (except turf) a minimum of 36" clear of fire hydrants.
- 14.) Landscape contractor shall kill & remove all existing weeds within the project site.
- 15.) All tags, nursery stakes, labels, etc. shall be removed by the landscape contractor at completion of all landscape installation.
- 16.) Landscape contractor shall be in compliance with all federal, state and local laws / regulations relating to insect infestation and/or plant diseases.
- 17.) All substitutions of plant material shall be submitted to landscape architect for approval.

PRUNING:

- 1.) Lightly prune trees at time of planting. Prune only the crossover limbs, intermingled leaders and/or any broken branches. Some interior twigs and lateral branches may be pruned. However, do not remove the terminal buds of branches that extend to the edge of the crown.
- 2.) All pruning shall comply with ANSI A300 standards.

INSURANCE:

- 1.) The landscape contractor shall submit certificates of insurance for workman's compensation and general liability.

MULCH:

- 1.) All mulch to be shredded oak bark mulch at 3" depth (after compaction) unless otherwise noted. Mulch shall be clean and free of all foreign materials, including weeds, mold, deleterious materials, etc.
- 2.) No plastic sheeting or filter fabric shall be placed beneath shredded bark mulch beds. Mitrail fabric shall be used beneath all gravel mulch beds. Lap fabric 6" over adjacent coverages.
- 3.) Edge all beds with spade-cut edge unless otherwise noted.

MAINTENANCE:

- 1.) Landscape Contractor shall provide a separate proposal to maintain all plants, shrubs, groundcover, perennials and annuals for a period of 12 months after acceptance.
- 2.) Contractor shall ensure that only competent and trained personnel shall provide such services and that such services be provided in a timely manner.
- 3.) Watering of seeded or sodded lawns shall begin immediately and shall continue to be provided continuously for the following 72 hours. Regardless, the landscape contractor shall be responsible for all landscape maintenance until project turnover.

SIGHT TRIANGLES:

- 1.) No landscape material or other obstructions shall be placed or be maintained within the sight distance area so as not to impede the vision between a height of thirty inches (30") and ten feet (10') above the adjacent street or paving surfaces.
- 2.) Sight triangles at the intersection of a public street and a private access way (except for single family residences) shall also be formed by measuring from the point of intersection of the street frontage curbs and the entrance curb lines a distance of 35' and connecting the points so established to form the sight triangle area.

TOPSOIL:

- 1.) Topsoil mix for all proposed landscape plantings shall be five (5) parts well-drained screened organic topsoil to one (1) part Canadian sphagnum peat moss as per planting details. Roto-till topsoil mix to a depth of 6" minimum and grade smooth.
- 2.) Provide a soil analysis, as requested, made by an independent soil-testing agency outlining the % of organic matter, inorganic matter, deleterious material, pH and mineral content.
- 3.) Any foreign topsoil used shall be free of roots, stumps, weeds, brush, stones (larger than 1"), litter or any other extraneous or toxic material. Landscape contractor shall be fully responsible for correcting all negative soil issues prior to plant installation. Killing and removal of all weeds shall be the responsibility of the landscape contractor as part of this task.
- 4.) Landscape contractor to apply pre-emergent herbicide to all planting beds upon completion of planting operations and before application of shredded bark mulch.
- 5.) Install siltation controls prior to commencement of any grading operations. Inspect and maintain all siltation fences on a weekly basis until vegetation is established.

MISC. MATERIAL:

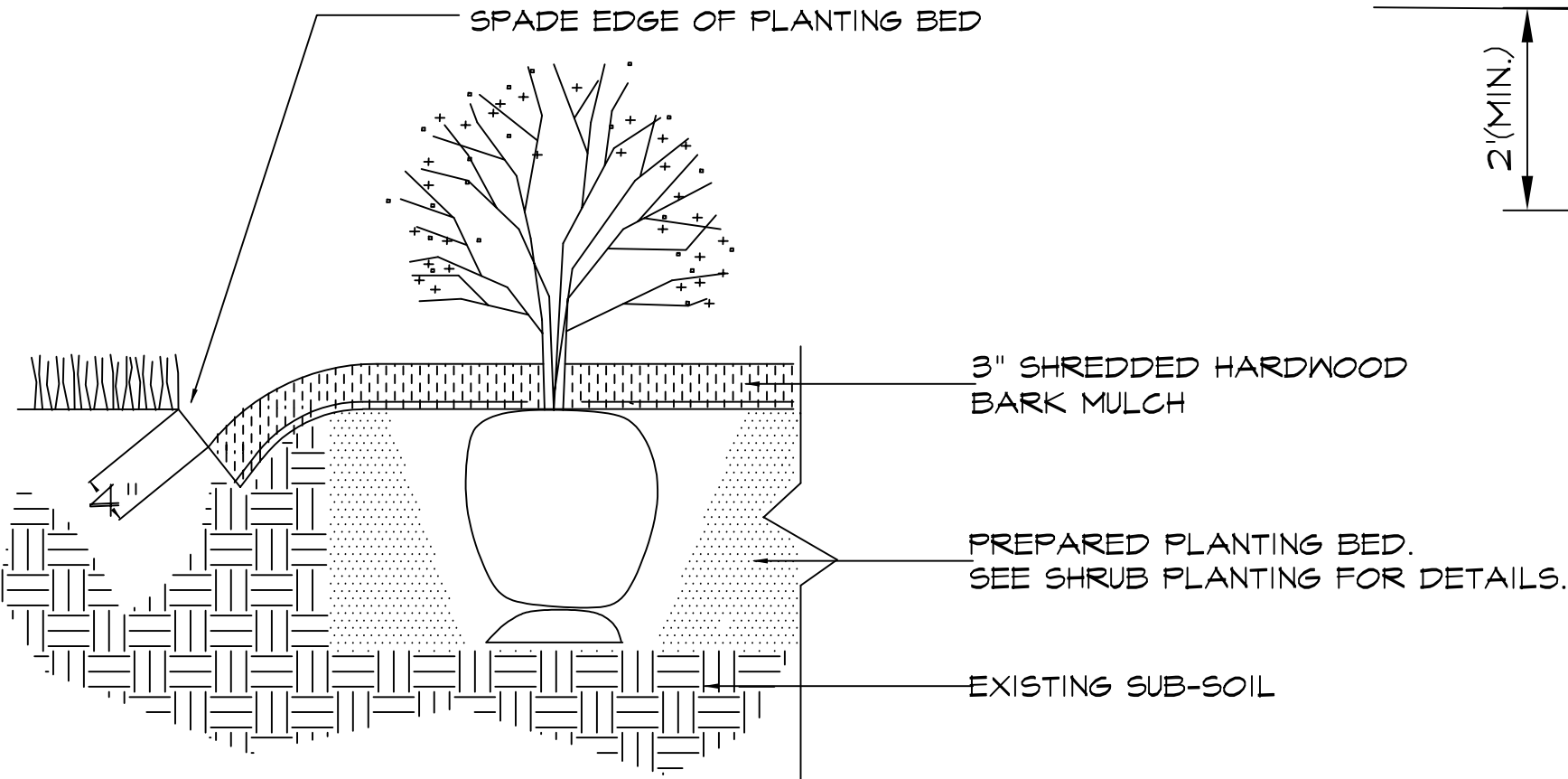
- 1.) Provide stakes and deadmen of sound, new hardwood, free of knotholes and defects.
- 2.) Tree wrap tape shall be 4" minimum, designed to prevent borer damage and winter freezing. Additionally, only 3-ply tying material shall be used.

TURF:

- 1.) All disturbed lawn areas to be sodded with a high quality Turf-Type fescue. Lawn areas shall be unconditionally warranted for a period of 90 days from date of full acceptance. Bare areas more than one square foot per any 50 square feet shall be replaced.
- 2.) Seed and fertilization operations shall occur between May 1 and June 15th or between September 1 and October 15th unless directed by others in writing AND irrigation system is operating. Granular or pelleted fertilizer consisting of 50% water-insoluble slow release nitrogen, phosphorous and potassium in a 12-12-12 composition.
- 4.) The turf contractor shall be responsible for protection of finished grade; restore and repair any erosion or water damage and obtain owners' approval prior to seeding or sod installation. Sod shall be freshly cut at a uniform thickness of 3/4". No broken pieces, irregular pieces or torn pieces will be accepted.
- 6.) Any points carrying concentrated water loads and all slopes of 15% or greater shall be sodded and pegged.
- 7.) All sod shall be placed a maximum of 24 hours after harvesting.
- 8.) Recondition existing lawn areas damaged by Contractor's operations including equipment/material storage and movement of vehicles.
- 9.) Sod Contractor to ensure sod is placed below sidewalk and all paved area elevations to allow for proper drainage.

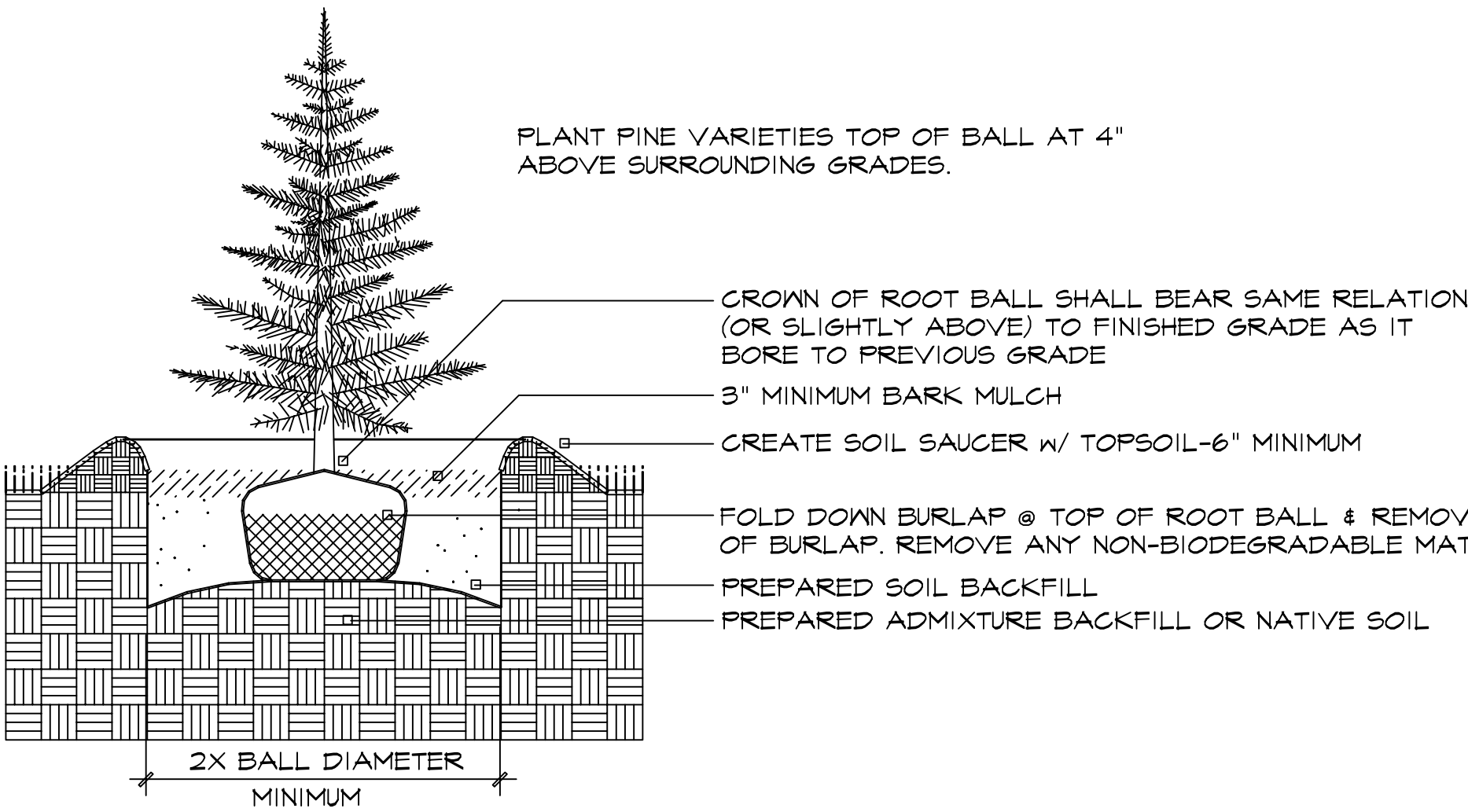
WARRANTY:

- 1.) All plant material (excluding ground cover, perennials and annuals) are to be warranted for a period of 12 months after complete installation of all landscape material at 100% of the installed price.
- 2.) Any plant material found to be defective shall be removed and replaced within 30 days of notification or in growth season determined to be best for that plant.
- 3.) Only one replacement per tree or shrub shall be required at the end of the warranty period, unless loss is due to failure to comply with the warranty.
- 4.) Lawn establishment period will be in effect once the lawn has been mowed three times. Plant establishment period shall commence on the date of acceptance and 100% completion.
- 5.) A written guarantee shall be provided to the owner per conditions outlined in #1 above.



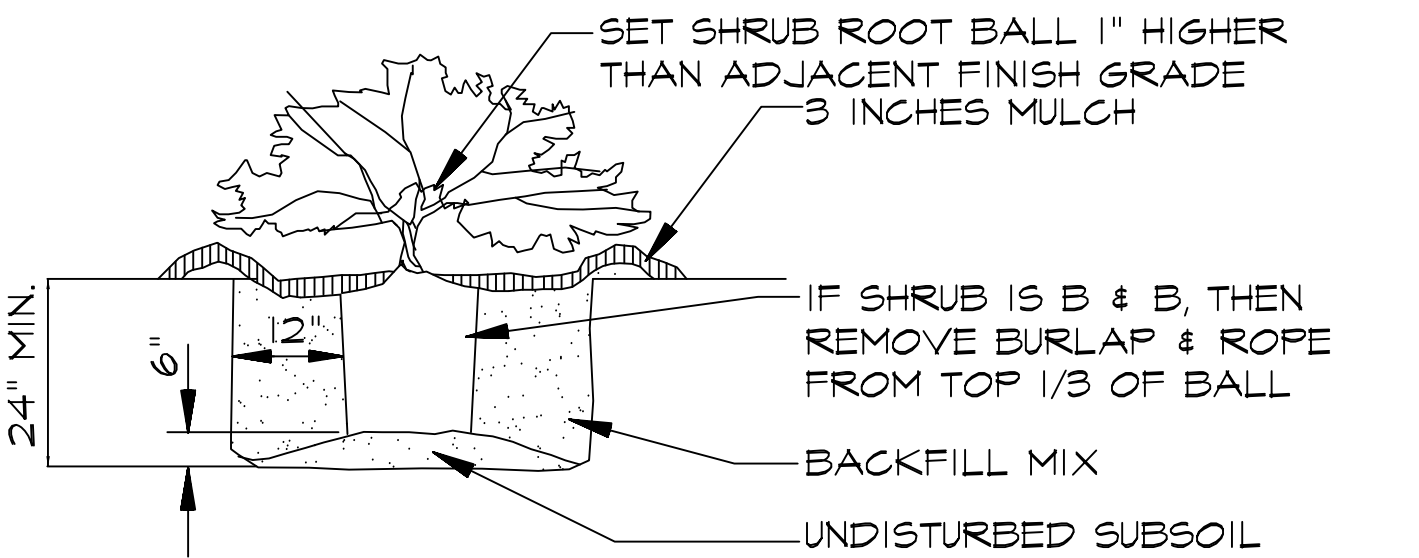
SPADE-CUT EDGE DETAIL

N.T.S.



EVERGREEN TREE PLANTING

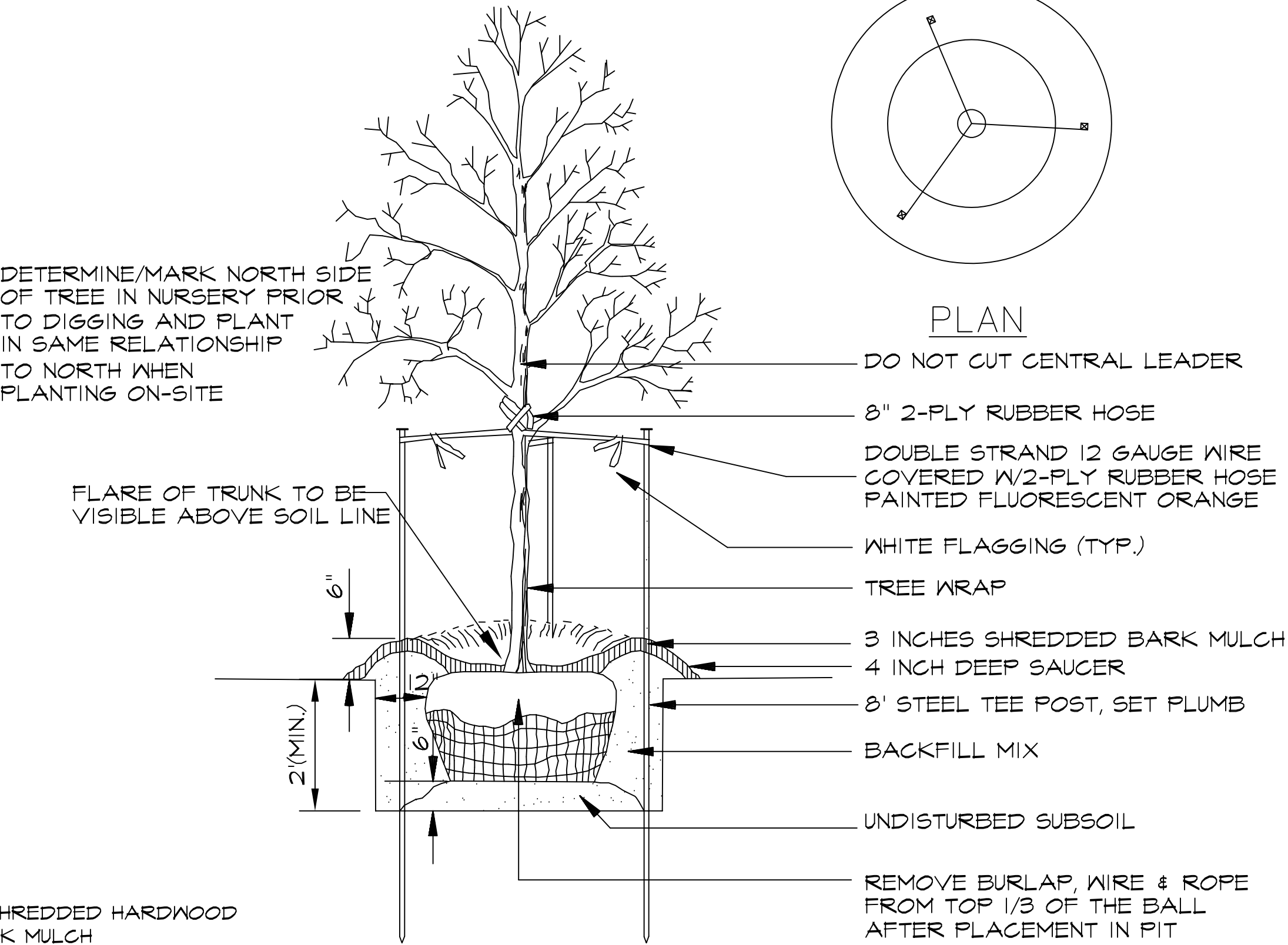
N.T.S.



PRUNE ANY BROKEN BRANCHES AFTER PLANTING. DAMAGED SHRUBS OR BROKEN / CRUMBLING ROOT BALLS WILL BE REJECTED.

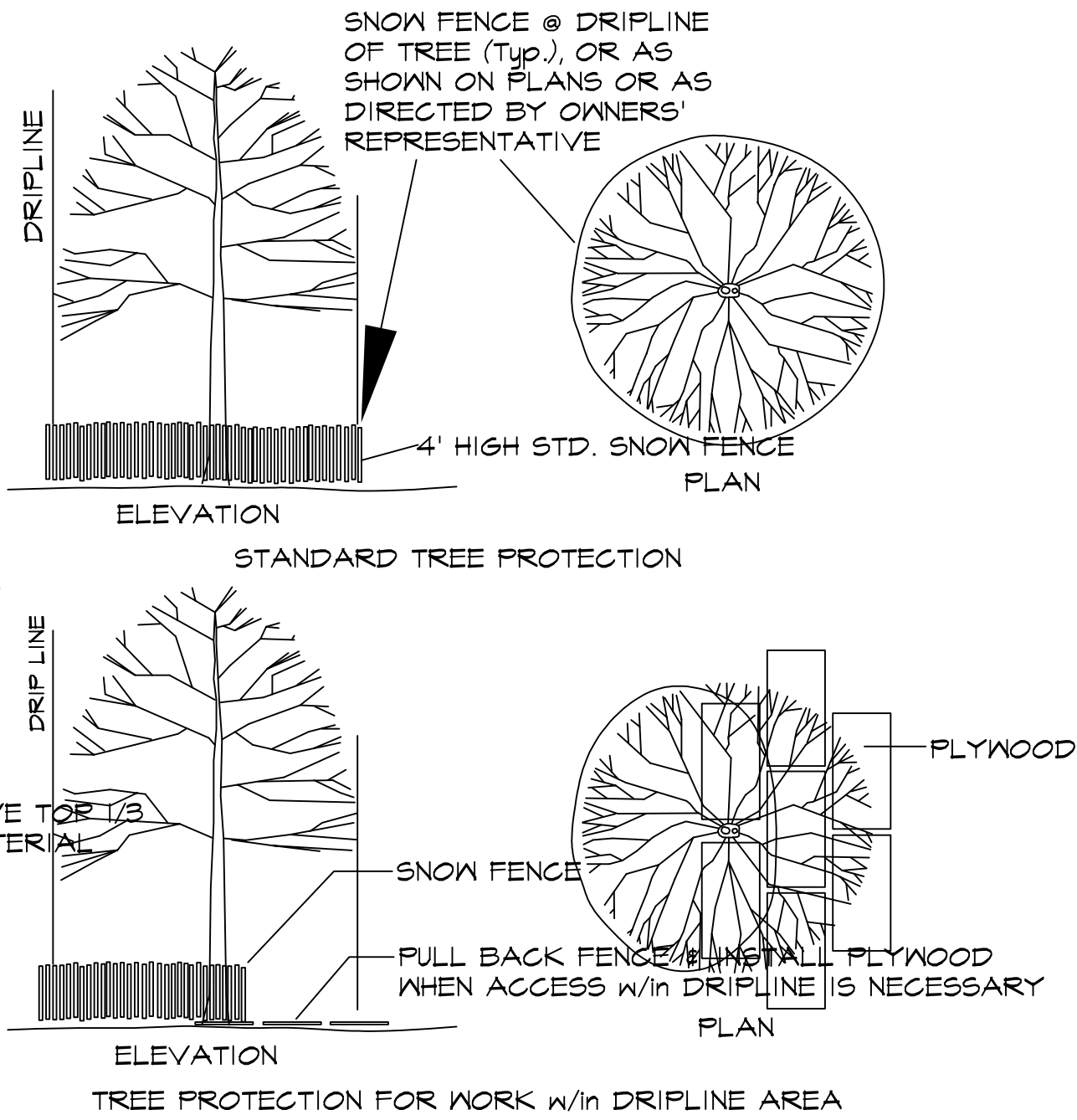
SHRUB PLANTING

N.T.S.



DECIDUOUS TREE PLANTING

N.T.S.



TREE PROTECTION DETAIL

N.T.S.

REVISIONS	BY
1/6/2020	RAM

PLANTING PLAN FOR THE PROPOSED PARKING EXPANSION FOR

633 Emerson Road

CREVE COEUR, MISSOURI

LANDSCAPE TECHNOLOGIES

6700 Jackson Creek Drive  
St. Louis, MO 63117  
(636) 421-1234  
Fax: (636) 421-1235  
Missouri Landscape Architect #00000198  
DATE 1/2/2020

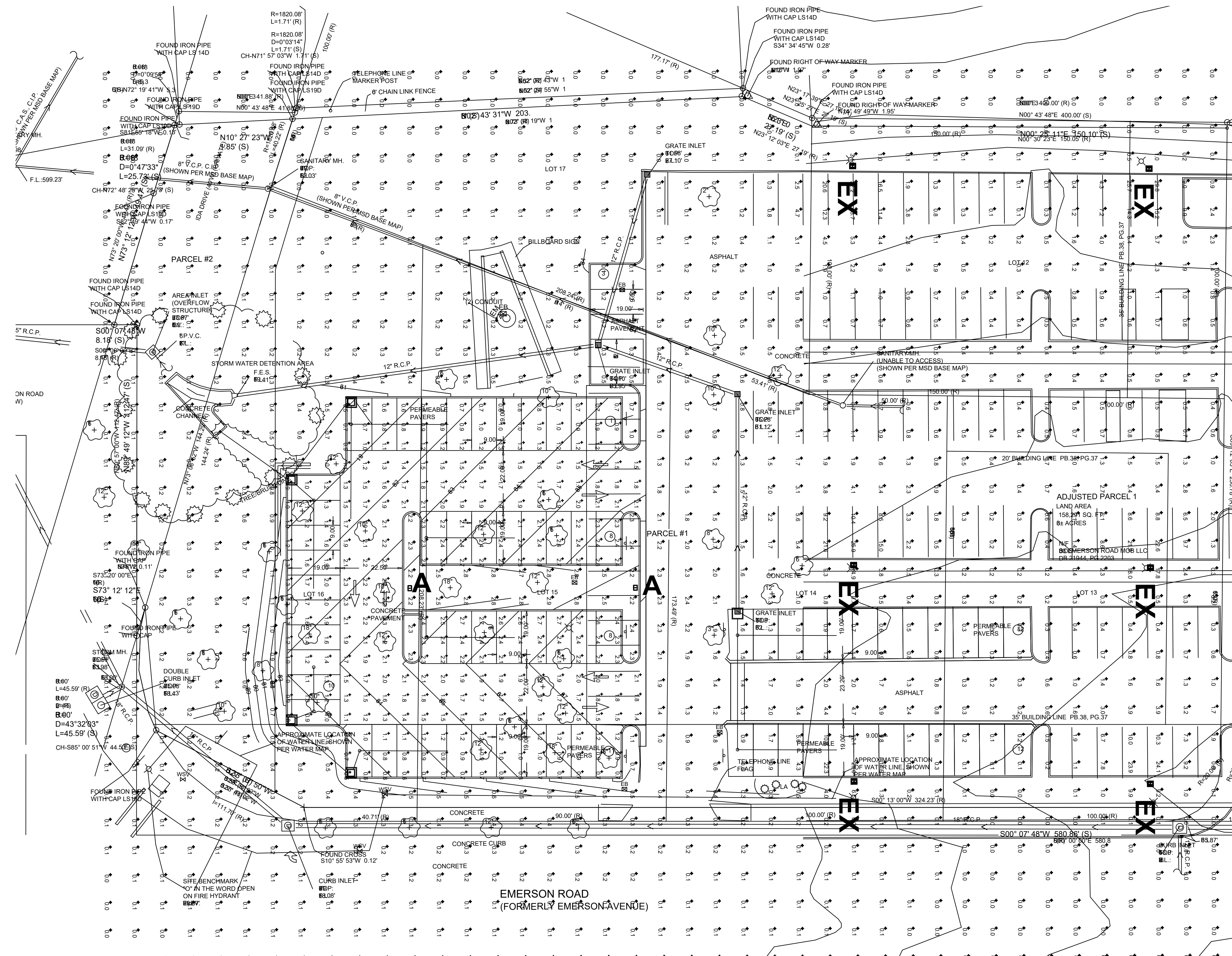
PLANNING NUMBER 019

REGISTERED MISSOURI LANDSCAPE ARCHITECT #00000198

DRAWN R. HARTZIS
CHECKED RM/ML
DATE 1/2/2020
SCALE N/A
JOB No. 2020-141
SHEET L-2
OF TWO SHEETS



## EMERSON TERRACE OFFICE PARK



GUARANTEE ELECTRIC  
3401 Bent Ave  
St. Louis, MO 63116

PHOTOMETRIC  
PLAN

P1



Project		Catalog #		Type	
Prepared by		Notes		Date	



# Lumark

## PRV / PRV-XL Prevail LED

Area / Site Luminaire

### Typical Applications

Outdoor • Parking Lots • Walkways • Roadways • Building Areas

### Interactive Menu

- Ordering Information [page 2](#)
- Mounting Details [page 3](#)
- Optical Configurations [page 3](#)
- Product Specifications [page 3](#)
- Energy and Performance Data [page 4](#)
- Control Options [page 5](#)

### Product Certifications



### Product Features

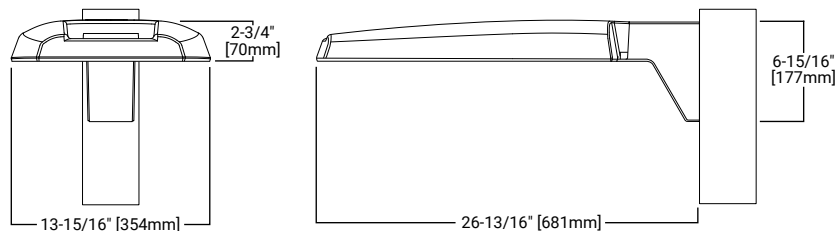


### Quick Facts

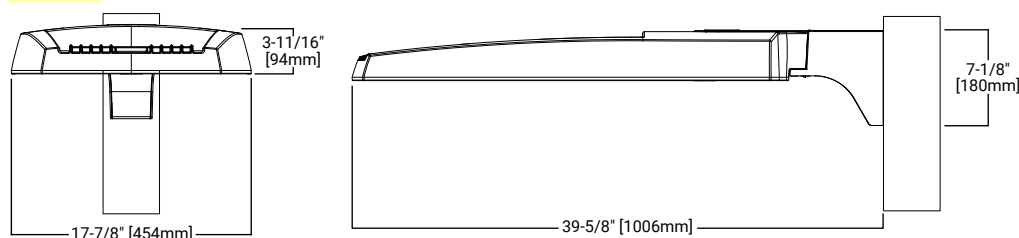
- Lumen packages range from 7,100 - 48,600 lumens (50W - 350W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 148 lumens per watt
- Energy and maintenance savings up to 85% versus HID solutions
- Standard universal quick mount arm with universal drill pattern

### Dimensional Details

#### Prevail



#### Prevail XL






## Ordering Information

SAMPLE NUMBER: **PRV-XL-C75-D-UNV-T4-SA-BZ**

Product Family <sup>1,2</sup>	Light Engine <sup>3</sup>	Driver	Voltage	Distribution	Mounting (Included)	Color
<b>PRV</b> =Prevail	<b>C15</b> =(1 LED) 7,100 Nominal Lumens <b>C25</b> =(2 LEDs) 13,100 Nominal Lumens <b>C40</b> =(2 LEDs) 17,100 Nominal Lumens <b>C60</b> =(2 LEDs) 20,000 Nominal Lumens	<b>D</b> =Dimming (0-10V)	<b>UNV</b> =Universal (120-277V) <b>347</b> =347V <b>480</b> =480V <sup>4</sup>	<b>T2</b> =Type II <b>T3</b> =Type III <b>T4</b> =Type IV <b>T5</b> =Type V	<b>SA</b> =Standard Versatile Arm <b>MA</b> =Mast Arm <b>WM</b> =Wall Mount Arm	<b>AP</b> =Grey <b>BZ</b> =Bronze <b>BK</b> =Black <b>DP</b> =Dark Platinum <b>GM</b> =Graphite Metallic <b>WH</b> =White
<b>PRV-XL</b> =Prevail XL	<b>C75</b> =(4 LED) 26,100 Nominal Lumens <b>C100</b> =(4 LED) 31,000 Nominal Lumens <b>C125</b> =(4 LED) 36,000 Nominal Lumens <b>C150</b> =(6 LED) 41,100 Nominal Lumens <b>C175</b> =(6 LED) 48,600 Nominal Lumens					
Options (Add as Suffix)			Accessories (Order Separately) <sup>17</sup>			
<b>7030</b> =70 CRI / 3000K CCT <sup>5</sup> <b>7050</b> =70 CRI / 5000K CCT <sup>5</sup> <b>HSS</b> =House Side Shield <sup>6</sup> <b>L90</b> =Optics Rotated 90° Left <b>R90</b> =Optics Rotated 90° Right <b>10K</b> =10kV/10kA UL 1449 Fused Surge Protective Device <b>HA</b> =50°C High Ambient Temperature <sup>7</sup> <b>PER</b> =NEMA 3-PIN Twistlock Photocontrol Receptacle <b>PER7</b> =NEMA 7-PIN Twistlock Photocontrol Receptacle <b>MSP/DIM-L12</b> =Integrated Sensor for Dimming Operation, 8' - 12' Mounting Height <sup>8,9</sup> <b>MSP/DIM-L30</b> =Integrated Sensor for Dimming Operation, 12' - 30' Mounting Height <sup>8,9</sup> <b>MSP-L12</b> =Integrated Sensor ON/OFF Operation, 8' - 12' Mounting Height <sup>8,9</sup> <b>MSP-L30</b> =Integrated Sensor ON/OFF Dimming Operation, 12' - 30' Mounting Height <sup>8,9</sup> <b>MS/DIM-L20</b> =Motion Sensor for Dimming Operation, 9' - 20' Mounting Height <sup>9,10</sup> <b>MS/DIM-L40W</b> =Motion Sensor for Dimming Operation, 21' - 40' Mounting Height <sup>9,10</sup> <b>MS-L20</b> =Motion Sensor for ON/OFF Operation, 9' - 20' Mounting Height <sup>9,10</sup> <b>MS-L40W</b> =Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height <sup>9,10</sup> <b>ZW</b> =Wavelinx-enabled 4-PIN Twistlock Receptacle <sup>9,11,12</sup> <b>ZW-SWPD4XX</b> =Wavelinx Wireless Sensor, 7' - 15' Mounting Height <sup>9,11,12,13</sup> <b>ZW-SWPD5XX</b> =Wavelinx Wireless Sensor, 15' - 40' Mounting Height <sup>9,11,12,13</sup> <b>LWR-LW</b> =LumaWatt Pro Wireless Sensor, Wide Lens for 8' - 16' Mounting Height <sup>9,14</sup> <b>LWR-LN</b> =LumaWatt Pro Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height <sup>9,14</sup> <b>(See Table Below)</b> =LumenSafe Integrated Network Security Camera <sup>15,16</sup>			<b>PRVWM-XX</b> =Wall Mount Kit <sup>8</sup> <b>PRVMA-XX</b> =Mast Arm Mounting Kit <sup>8</sup> <b>PRVSA-XX</b> =Standard Arm Mounting Kit <sup>8</sup> <b>PRVXLSA-XX</b> =Standard Arm Mounting Kit (for Prevail XL) <sup>15</sup> <b>PRVXLWM-XX</b> =Wall Mount Kit (for Prevail XL) <sup>15</sup> <b>PRVXLMA-XL</b> =Mast Arm Mounting Kit (for Prevail XL) <sup>15</sup> <b>MA1010-XX</b> =Single Tenon Adapter for 3-1/2" O.D. Tenon <b>MA1011-XX</b> =2@180° Tenon Adapter for 3-1/2" O.D. Tenon <b>MA1017-XX</b> =Single Tenon Adapter for 2-3/8" O.D. Tenon <b>MA1018-XX</b> =2@180° Tenon Adapter for 2-3/8" O.D. Tenon <b>HS/VERD</b> =House Side Shield <sup>6,18</sup> <b>VGS-F/B</b> =Vertical Glare Shield, Front/Back <sup>18</sup> <b>VGS-SIDE</b> =Vertical Glare Shield, Side <sup>18</sup> <b>OA/RA1013</b> =Photocontrol Shorting Cap <b>OA/RA1014</b> =NEMA Photocontrol - 120V <b>OA/RA1016</b> =NEMA Photocontrol - Multi-Tap 105-285V <b>OA/RA1201</b> =NEMA Photocontrol - 347V <b>OA/RA1027</b> =NEMA Photocontrol - 480V <b>ISHH-01</b> =Integrated Sensor Programming Remote <sup>19</sup> <b>FSIR-100</b> =Wireless Configuration Tool for Occupancy Sensor <sup>20</sup> <b>SWPD4-XX</b> =WaveLinx Wireless Sensor, 7' - 15' Mounting Height <sup>12,13,21</sup> <b>SWPD5-XX</b> =WaveLinx Wireless Sensor, 15' - 40' Mounting Height <sup>12,13,21</sup> <b>WOLC-7P-10A</b> =WaveLinx Outdoor Control Module (7-PIN) <sup>22</sup>			
<b>NOTES:</b> 1. DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details. 2. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications. Refer to installation instructions and pole white paper WP513001EN for additional support information. 3. Standard 4000K CCT and 70CRI. 4. Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems). 5. Use dedicated IES files on product website for non-standard CCTs. 6. Option will come factory-installed. House Side Shield not suitable with T5 distribution or C60 lumen package. 7. Not available with C60 lumen package. 8. Only available in PRV configurations C15, C25, C40 or C60. 9. Controls system is not available with photocontrol receptacle (PER or PER7) or other controls systems (MS, MSP, ZW or LWR). 10. Utilizes the Wattstopper sensor FSP-211. 11. Sensor passive infrared (PIR) may be overly sensitive when operating below -20°C (-4°F). 12. In order for the device to be field-configurable, requires WAC Gateway components WAC-PoE and WPOE-120 in appropriate quantities. Only compatible with WaveLinx system and software and requires system components to be installed for operation. See website for more Wavelinx application information. 13. Replace XX with sensor color (WH, BZ, or BK). 14. LumaWatt Pro wireless sensors are factory installed and require network components LWP-EM-1, LWP-GW-1, and LWP-PoE8 in appropriate quantities. See website for LumaWatt Pro application information. 15. Only available in PRV-XL configurations C75, C100, C125, C150, or C175. 16. Not available with 347V, 480V, or HA options. Consult LumenSafe system product pages for additional details and compatability information. 17. Replace XX with paint color. 18. Must order one per optic/LED when ordering as a field-installable accessory (1, 2, 4, or 6). 19. This tool enables adjustment to Integrated Sensor (MSP) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information. 20. This tool enables adjustment to Motion Sensor (MS) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information. 21. Requires Wavelinx-enabled 4-PIN twistlock receptacle (ZW) option. 22. Requires 7-PIN NEMA twistlock photocontrol receptacle (PER7) option. The WOLC-7 cannot be used in conjunction with other controls systems (MS, MSP, ZW or LWR).						

## LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)

Product Family	Camera Type	Data Backhaul
<b>L</b> =LumenSafe Technology 	<b>D</b> =Dome Camera	<b>C</b> =Cellular, Customer Installed SIM Card <b>A</b> =Cellular, Factory Installed AT&T SIM Card <b>V</b> =Cellular, Factory Installed Verizon SIM Card <b>S</b> =Cellular, Factory Installed Sprint SIM Card <b>E</b> =Ethernet Networking

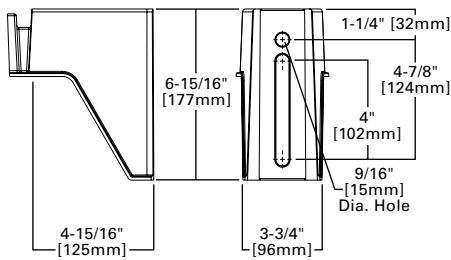
## Stock Ordering Information

Product Family <sup>1</sup>	Light Engine	Voltage	Distribution	Options (Add as Suffix)
<b>PRVS</b> =Prevail	<b>C15</b> =(1 LED) 7,100 Nominal Lumens <b>C25</b> =(2 LEDs) 13,100 Nominal Lumens <b>C40</b> =(2 LEDs) 17,100 Nominal Lumens <b>C60</b> =(2 LEDs) 20,000 Nominal Lumens	<b>UNV</b> =Universal (120-277V) <b>347</b> =347V <sup>2</sup>	<b>T3</b> =Type III <b>T4</b> =Type IV	<b>MSP/DIM-L30</b> =Integrated Sensor for Dimming Operation, Maximum 30' Mounting Height <sup>2</sup>
<b>PRVS-XL</b> =Prevail XL	<b>C75</b> =(4 LED) 26,100 Nominal Lumens <b>C100</b> =(4 LED) 31,000 Nominal Lumens <b>C125</b> =(4 LED) 36,000 Nominal Lumens <b>C150</b> =(6 LED) 41,100 Nominal Lumens <b>C175</b> =(6 LED) 48,600 Nominal Lumens			
<b>NOTES:</b> 1. All stock configurations are standard 4000K/70CRI, bronze finish, and include the standard versatile mounting arm. 2. Only available in PRVS configurations C15, C25, C40 or C60.				

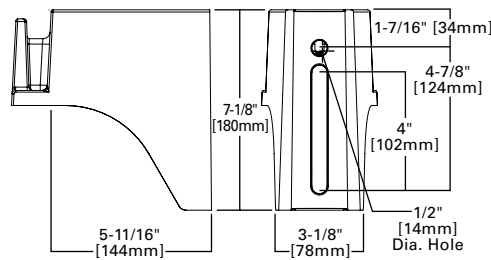


## Mounting Details

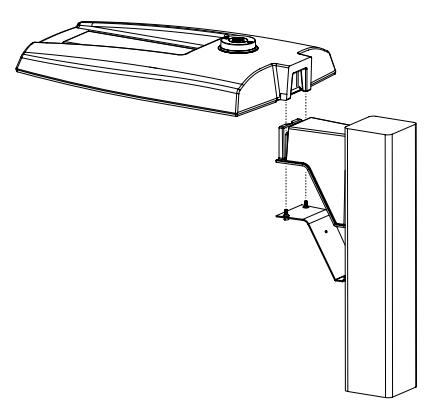
### Pole Mount Arm (PRV)



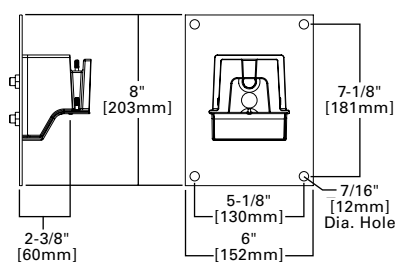
### Pole Mount Arm (PRV-XL)



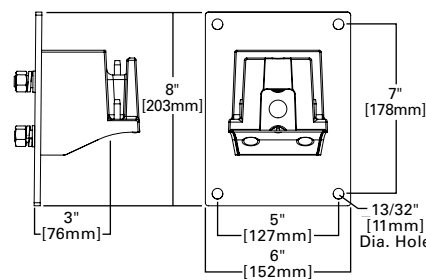
### Versatile Mount System



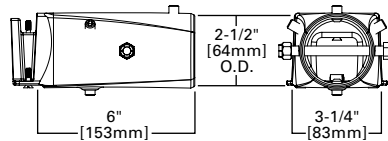
### Wall Mount (PRV)



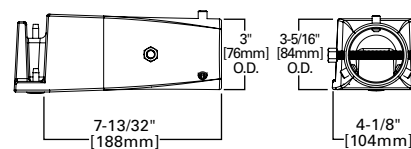
### Wall Mount (PRV-XL)



### Mast Arm Mount (PRV)



### Mast Arm Mount (PRV-XL)



## Mounting Configurations and EPAs

**NOTE:** For 2 PRV's mounted at 90°, requires minimum 3" square or 4" round pole for fixture clearance. For 2 PRV-XL's mounted at 90°, requires minimum 4" square or round pole for fixture clearance. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications.

### Wall Mount

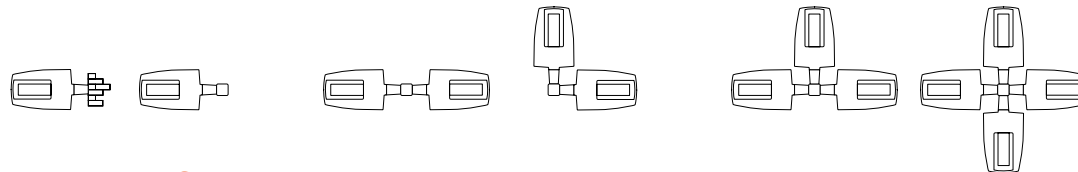
**Arm Mount Single**  
EPA 0.92 (PRV)  
EPA 1.12 (PRV-XL)

**Arm Mount 2 @ 180°**  
EPA 1.35 (PRV)  
EPA 2.25 (PRV-XL)

**Arm Mount 2 @ 90°**  
EPA 1.42 (PRV)  
EPA 2.13 (PRV-XL)

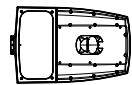
**Arm Mount 3 @ 90°**  
EPA 1.63 (PRV)  
EPA 2.52 (PRV-XL)

**Arm Mount 4 @ 90°**  
EPA 1.63 (PRV)  
EPA 2.52 (PRV-XL)

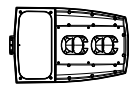


## Optical Configurations

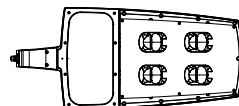
**PRV-C15**  
(7,100 Nominal Lumens)



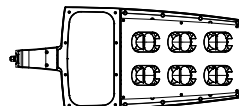
**PRV-C25/C40/C60**  
(13,100/17,100/20,000  
Nominal Lumens)



**PRV-XL-C75/C100/C125**  
(26,100/31,000/36,300 Nominal Lumens)



**PRV-XL-C150/C175**  
(41,100/48,600 Nominal Lumens)



## Product Specifications

### Construction

- Single-piece die-cast aluminum housing
- Tethered die-cast aluminum door

### Optics

- Dark Sky Approved (3000K CCT and warmer only)
- Precision molded polycarbonate optics

### Electrical

- 40°C minimum operating temperature
- 40°C maximum operating temperature
- >.9 power factor
- <20% total harmonic distortion

- Class 1 electronic drivers have expected life of 100,000 hours with <1% failure rate
- 0-10V dimming driver is standard with leads external to the fixture

### Mounting

- Versatile, patented, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8"
- A knock-out on the standard mounting arm enables round pole mounting
- Prevail: 3G vibration rated
- Prevail XL Mast Arm: 3G vibration rated
- Prevail XL Standard Arm: 1.5G vibration rated

### Finish

- Five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness

### Shipping Data

- Prevail: 20 lbs. (9.09 kgs.)
- Prevail XL: 45 lbs. (20.41 kgs.)



## Energy and Performance Data

### Power and Lumens (PRV)

[View PRV IES files](#)

Light Engine		C15	C25	C40	C60
Power (Watts)		52	96	131	153
Input Current @ 120V (A)		0.43	0.80	1.09	1.32
Input Current @ 277V (A)		0.19	0.35	0.48	0.57
Input Current @ 347V (A)		0.17	0.30	0.41	0.48
Input Current @ 480V (A)		0.12	0.22	0.30	0.35
Distribution					
Type II	4000K Lumens	7,123	13,205	17,172	20,083
	BUG Rating	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3
	3000K Lumens	6,994	12,965	16,860	19,718
Type III	4000K Lumens	7,111	13,183	17,144	20,050
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4
	3000K Lumens	6,982	12,944	16,832	19,686
Type IV	4000K Lumens	7,088	13,140	17,087	19,984
	BUG Rating	B1-U0-G3	B2-U0-G4	B2-U0-G4	B3-U0-G5
	3000K Lumens	6,959	12,901	16,777	19,621
Type V	4000K Lumens	7,576	14,045	18,264	21,360
	BUG Rating	B3-U0-G3	B4-U0-G3	B4-U0-G4	B5-U0-G4
	3000K Lumens	7,438	13,790	17,932	20,972

### Lumen Maintenance

Configuration	TM-21 Lumen Maintenance (50,000 Hours)	Theoretical L70 (Hours)
Up to PRV-C60 at 25°C	91.30%	194,000
Up to PRV-C60 at 40°C	87.59%	134,000
Up to PRV-XL-C175 at 25°C	91.40%	204,000
Up to PRV-XL-C175 at 40°C	89.41%	158,000

### Lumen Multiplier

Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99

### Power and Lumens (PRV-XL)

[View PRV-XL IES files](#)

Light Engine		C75	C100	C125	C150	C175
Power (Watts)		176	217	264	285	346
Input Current @ 120V (A)		1.50	1.84	2.21	2.38	2.92
Input Current @ 277V (A)		0.66	0.82	0.97	1.04	1.25
Input Current @ 347V (A)		0.54	0.66	0.79	0.84	1.02
Input Current @ 480V (A)		0.40	0.48	0.57	0.62	0.74
Distribution						
Type II	4000K Lumens	26,263	31,231	36,503	41,349	48,876
	BUG Rating	B3-U0-G3	B3-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-G5
	3000K Lumens	25,786	30,664	35,840	40,598	47,989
Type III	4000K Lumens	26,120	31,061	36,304	41,124	48,610
	BUG Rating	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
	3000K Lumens	25,646	30,497	35,645	40,377	47,727
Type IV	4000K Lumens	26,098	31,035	36,274	41,089	48,569
	BUG Rating	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5
	3000K Lumens	25,624	30,471	35,615	40,343	47,687
Type V	4000K Lumens	28,129	33,450	39,097	44,287	52,349
	BUG Rating	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
	3000K Lumens	27,618	32,843	38,387	43,483	51,398



## Control Options

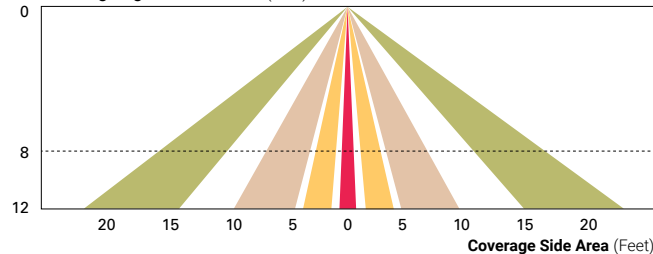
**0-10V (D)** The dimming option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

**Photocontrol (PER and PER7)** Photocontrol receptacles provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PER7 receptacle.

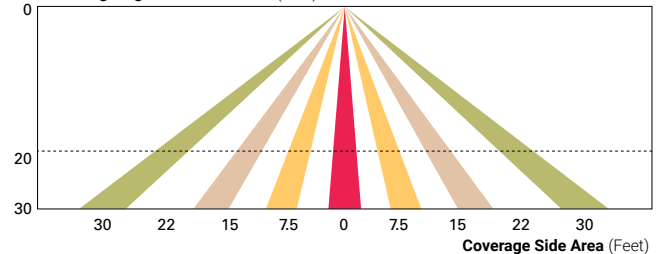
**Dimming Occupancy Sensor (MSP and MS)** These sensors are factory installed in the luminaire housing. When a sensor for dimming operation (/DIM) option is selected, the luminaire will dim down to approximately 50 percent power after five minutes of no activity detected. When activity is detected, the luminaire returns to full light output. When a sensor for ON/OFF operation is selected, the luminaire will turn off after five minutes of no activity.

These occupancy sensors include an integral photocell that can be activated or inactivated with the programming remote / configuration tool for "dusk-to-dawn" control or "daylight harvesting". **Note:** For MSP sensors, the factory preset is ON (Enabled), and for MS sensors, the factory preset is OFF (Disabled). The programming remote / tool is a wireless tool that can be utilized to change the dimming level, time delay, sensitivity and other parameters. A variety of sensor lenses are available to optimize the coverage pattern for mounting heights from 8'-40'.

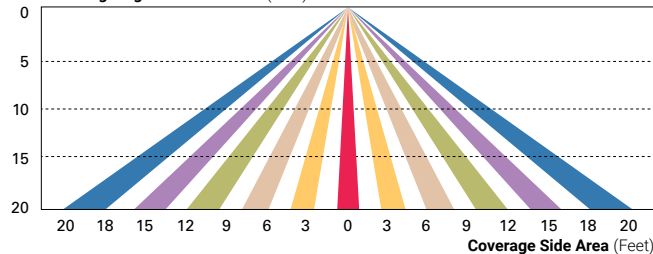
For mounting heights from 8' to 12' (-L12)



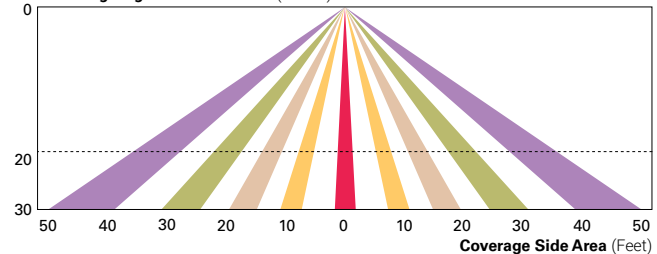
For mounting heights from 12' to 30' (-L30)



For mounting heights from 9' to 20' (-L20)



For mounting heights from 21' to 40' (-L40W)

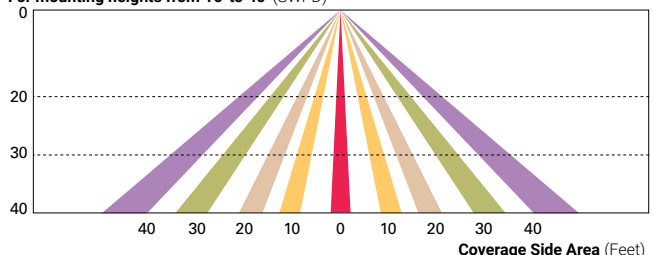


**WaveLinx Wireless Control and Monitoring System** Available in 7-PIN or 4-PIN configurations, the WaveLinx Outdoor control platform operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting. Use the WaveLinx Mobile application for set-up and configuration. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets).

**WaveLinx Outdoor Control Module (WOLC-7P-10A)** A photocontrol that enables astronomic or time-based schedules to provide ON, OFF and dimming control of fixtures utilizing a 7-PIN receptacle. The out-of-box functionality is ON at dusk and OFF at dawn.

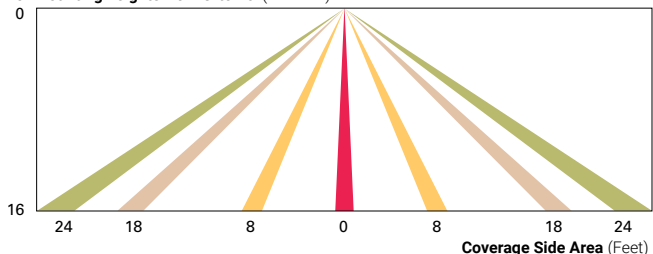
**WaveLinx Wireless Sensor (SWPD4 and SWPD5)** These outdoor sensors offer passive infrared (PIR) occupancy and a photocell for closed loop daylight sensing. These sensors can be factory installed or field-installed via simple, tool-less integration into luminaires equipped with the Zhaga Book 18 compliant 4-PIN receptacle (ZW). These sensors are factory preset to dim down to approximately 50 percent power after 15 minutes of no activity detected. These occupancy sensors include an integral photocell for "dusk-to-dawn" control or daylight harvesting that is factory-enabled. A variety of sensor lenses are available to optimize the coverage pattern for mounting heights from 7'-40'.

For mounting heights from 16' to 40' (SWPD)

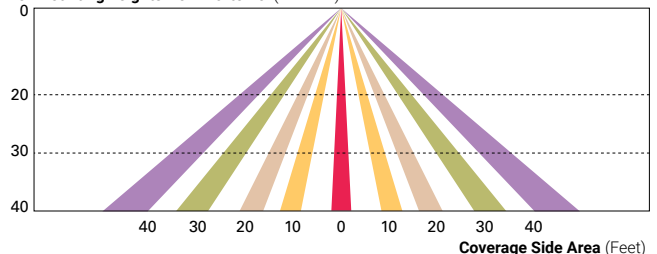


**LumaWatt Pro Wireless Control and Monitoring System (LWR-LW and LWR-LN)** The Eaton's LumaWatt Pro powered by Enlighted is a connected lighting solution that combines LED luminaires with an integrated wireless sensor system. The sensor controls the lighting system in compliance with the latest energy codes and collects valuable data about building performance and use. Software applications turn the granular data into information through energy dashboards and specialized apps that make it simple and help optimize the use of other resources beyond lighting.

For mounting heights from 8' to 16' (LWR-LW)



For mounting heights from 16' to 40' (LWR-LN)



**LumenSafe (LD)** The LumenSafe integrated network camera is a streamlined, outdoor-ready camera that provides high definition video surveillance. This IP camera solution is optimally designed to integrate into virtually any video management system or security software platform of choice. No additional wiring is needed beyond providing line power to the luminaire. LumenSafe features factory-installed power and networking gear in a variety of networking options allowing security integrators to design the optimal solution for active surveillance.